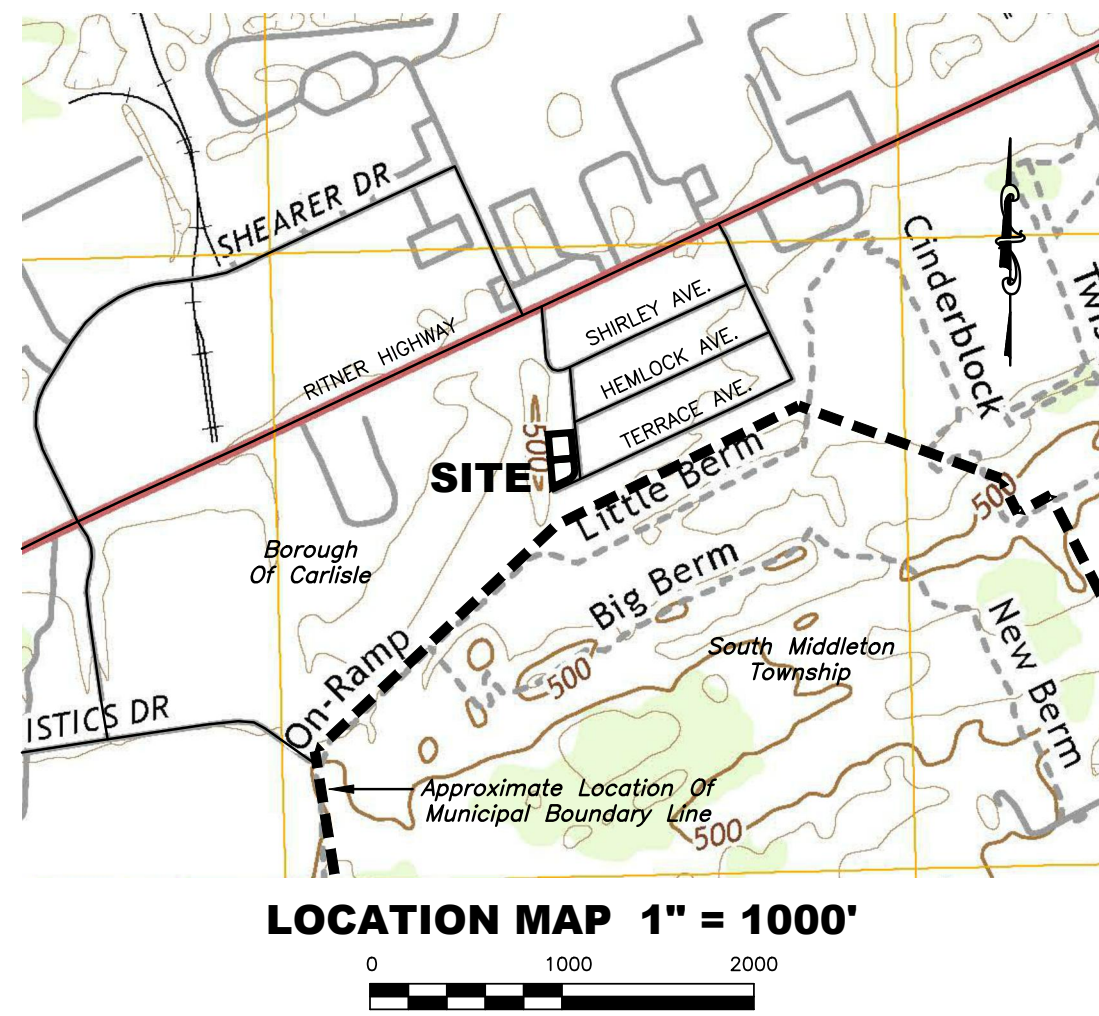


**Cumberland County  
Subdivision and Land Development Review Report**

Cumberland County Planning Department  
310 Allen Road, Suite 101  
Carlisle, PA 17013

<i>Municipality:</i> Carlisle Borough	<i>Date Received:</i> 4/6/2022	<i>Date Reviewed:</i> 4/19/2022	<i>Reviewed By:</i> SH	<i>Plan Number:</i> 22-039
<i>Plan Title:</i> 1528 and 1530 Terrace Avenue				
<i>Plan Status:</i> Preliminary		<i>Plan Type:</i> Subdivision Plan		
<i>Comments and Recommendations:</i>				
<ol style="list-style-type: none"> <li>1. The applicant should review the Location Map. The map includes items such as on-ramp, big berm, little berm, new berm and cinderblock (SLDO 226-20.A.3).</li> <li>2. It appears that a gas line connection is existing on proposed lot 2. The location of the service line should also be shown on the plan (SLDO 226-20.A.7.G).</li> <li>3. The plan indicates that the existing street right-of-way is 40 feet. The minimum street right-of-way in the Subdivision and Land Development Ordinance is 50 feet (SLDO 226-24.C.1). The borough should determine whether a dedication of additional right-of-way is required (SLDO 226-24.A.8).</li> <li>4. The borough should determine whether a dedication of recreation land or a fee in lieu of dedication is required for the proposed subdivision (SLDO 226-32.B.1.D).</li> <li>5. Cumberland County strives to create the most accurate public records possible. The following electronic AutoCAD files (.dwg) are <b>required</b> by the Planning Department prior to or at the time of recording any plan. Please note that <b><u>the Planning Department will not sign the plan for recording</u></b> until this information is emailed to <a href="mailto:planningreviews@ccpa.net">planningreviews@ccpa.net</a>. Links to online file downloads are acceptable. Applicants are required to provide the following files: <ul style="list-style-type: none"> <li>○ <b>Parcel boundaries</b></li> <li>○ <b>Lot lines</b></li> <li>○ <b>Building footprints</b></li> <li>○ <b>Road rights-of-ways</b></li> <li>○ <b>Edge of pavement</b></li> <li>○ <b>Declaration of planned communities/condominiums documents (including amendments)</b></li> </ul> </li> </ol>				



**STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**

Commonwealth of Pennsylvania: County Of Cumberland:  
 On this, the \_\_\_ day of \_\_\_, 2022 before me, the undersigned officer, personally appeared Paul R. Walters & Roseann E. Walters who being duly sworn according to law depose and say that they are the owners of the property shown on this plan and that they acknowledge the same to be their plan and desire the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Paul R. Walters \_\_\_\_\_ Roseann E. Walters \_\_\_\_\_

**STATEMENT OF OWNERSHIP, ACKNOWLEDGEMENT OF PLAN AND OFFER OF DEDICATION**

Commonwealth of Pennsylvania: County Of Cumberland:  
 On this, the \_\_\_ day of \_\_\_, 2022 before me, the undersigned officer, personally appeared Kitty L. McKellips who being duly sworn according to law deposes and says that she is the owner of the property shown on this plan and that she acknowledges the same to be her plan and desires the same to be recorded as such according to law; and all roads or parts thereof, if not previously dedicated, are hereby tendered for dedication to public use.

Kitty L. McKellips \_\_\_\_\_

**BOROUGH COUNCIL OF CARLISLE APPROVAL**

Approved by the Borough Council of Carlisle and all conditions imposed with respect to such approval were completed on this \_\_\_ day of \_\_\_, 2022.

Attest: \_\_\_\_\_  
 Borough of Carlisle Secretary Chairperson or Designee

**BOROUGH OF CARLISLE PLANNING COMMISSION REVIEW**

At a meeting on \_\_\_, 2022, the Borough of Carlisle Planning Commission reviewed this plan.

\_\_\_\_\_  
 Borough of Carlisle Planning Commission Chairperson or Designee

**BOROUGH OF CARLISLE ENGINEER REVIEW**

This plan reviewed by the Borough of Carlisle Engineer this \_\_\_ day of \_\_\_, 2022.

\_\_\_\_\_  
 Borough Engineer

**CUMBERLAND COUNTY PLANNING DEPARTMENT REVIEW**

Reviewed by the Cumberland County Planning Department this \_\_\_ day of \_\_\_, 2022.

\_\_\_\_\_  
 Cumberland County Planning Department Director Of Planning

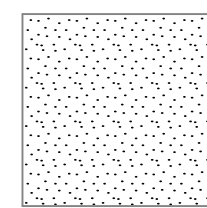
**OWNER INFORMATION**

Lot 1  
 Paul R. & Roseann E. Walters  
 1530 Terrace Avenue Carlisle, PA 17013  
 Phone: (717) 243-7253

Lot 2  
 Kitty L. McKellips  
 1528 Terrace Avenue Carlisle, PA 17013  
 Phone: (478) 334-1874

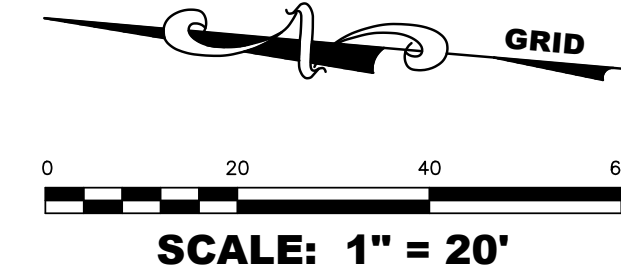
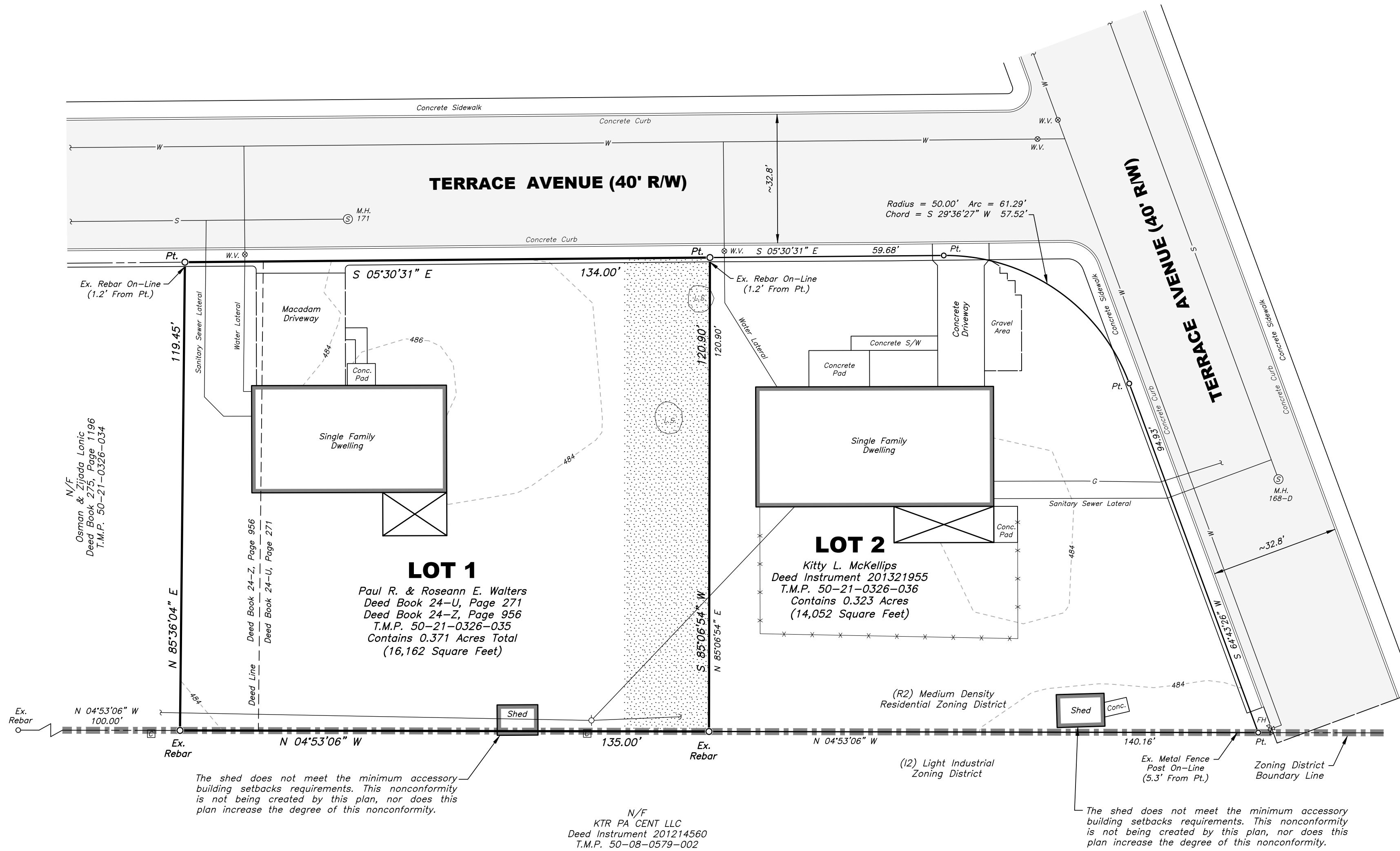
**PLAN INDEX**

Sheet SD1 Existing Site Conditions & Coversheet  
 Sheet SD2 Lot Plan & Final Lot Configuration



**PROPOSED LOT 2A (SEE SHEET SD2)**

**EXISTING SITE CONDITIONS**



**LEGEND**

- Ex. Existing
- T.M.P. Tax Map & Parcel
- N/F Now or Formerly
- L.S. Landscaping Area
- B.S. Building Setback
- R/W Right-Of-Way
- Contour Line
- Utility Pole
- W — Water Line
- ⊗ WV Water Valve
- ⊗ FH Fire Hydrant
- S — Sanitary Sewer Line
- ⊗ Sanitary Sewer Manhole
- CO Clean Out
- G — Gas Line

**GENERAL PLAN NOTES**

- The purpose of this plan is to subdivide Lot 2A from Lot 1. Lot 2A is to be conveyed as a lot addition to Lot 2. The properties will continue to be for residential use. This plan is for subdivision purposes only. No construction, development or earthmoving activity is proposed by this plan. Any future activity shall be subject to all applicable Federal, State and local reviews and approvals including, but not limited to, Township land development approval.
- PAMAP program LAS files (Lidar Data Of Pennsylvania) were used to determine contours for the project site (NAVD 88).
- The National Wetland Inventory Maps do not indicate the presence of any wetland areas on the subject properties. A detailed wetland delineation was not completed at this time. It is noted that no construction or earthmoving is being proposed on any lot by this plan.
- The subject properties are not located within the 100-year flood zone according to the National Flood Insurance Program Map 42041C0228E, effective on March 16, 2009.
- The Pennsylvania Department of Environmental Protection eMapPA website does not indicate the presence of any surface waters on the subject properties.
- The locations of underground utilities as shown on this plan are based on aboveground structures and record drawings provided to the surveyor. Locations of underground utilities/structures may vary from locations shown hereon. Additional buried utilities/structures may be encountered. No excavations were made during the progress of the survey to locate buried utilities. Because the underground utilities are shown in their approximate locations, they should be verified prior to any earthmoving activities.
- The subject properties, in their entirety, are located in the (R2) Medium Density Residential Zoning District of the Borough of Carlisle.

**LAND SURVEYOR'S CERTIFICATION**

I hereby certify that, to the best of my knowledge, the survey and plan shown and described hereon is true and correct to the accuracy required by the Borough of Carlisle Subdivision And Land Development Ordinance. The error of closure is no greater than 1 foot in 10,000 feet for all surveyed property lines.

**WAIVER REQUEST/APPROVAL BLOCK**

REQUESTED WAIVER	APPROVED	DISAPPROVED
SALDO Section 226-17: Submittal Of Preliminary Plan (In Accordance with SALDO Section 226-18)		

**(R2) MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT REQUIREMENTS**

- Permitted Use: Single-family detached dwelling – Public Water & Sewer
- Minimum Lot Area: 5,500 Square Feet
  - Minimum Lot Width At Setback: 60 Feet
  - Minimum Lot Width At Street: 35 Feet
  - Minimum Floor Area: 800 Square Feet
  - Minimum Principal Building Setbacks: Front: 25 Feet, Side: 8 Feet, Rear: 25 Feet
  - Minimum Accessory Building Setbacks: Front: 25 Feet, Side: 5 Feet, Rear: 5 Feet
  - Maximum Building Coverage: 35 Percent
  - Maximum Impervious Coverage: 60 Percent
  - Maximum Building Height: 35 Feet

**Multiple Frontage Lots**  
 A structure to be erected on a multiple frontage lot shall have a front yard for each side of the lot which abuts a public street or avenue, which yard shall meet the dimensions required in the district in which the lot is located. The remaining sides not abutting a public street or avenue shall be considered side yards and shall have the dimensions required for side yards in the district in which the lot is located. No rear yard setback shall be required.

**PLAN REVISIONS**

No.	REVISIONS	DATE

**FINAL SUBDIVISION PLAN FOR 1528 AND 1530 TERRACE AVENUE**  
 BOROUGH OF CARLISLE - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



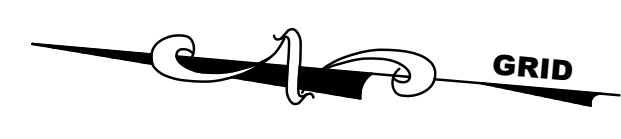
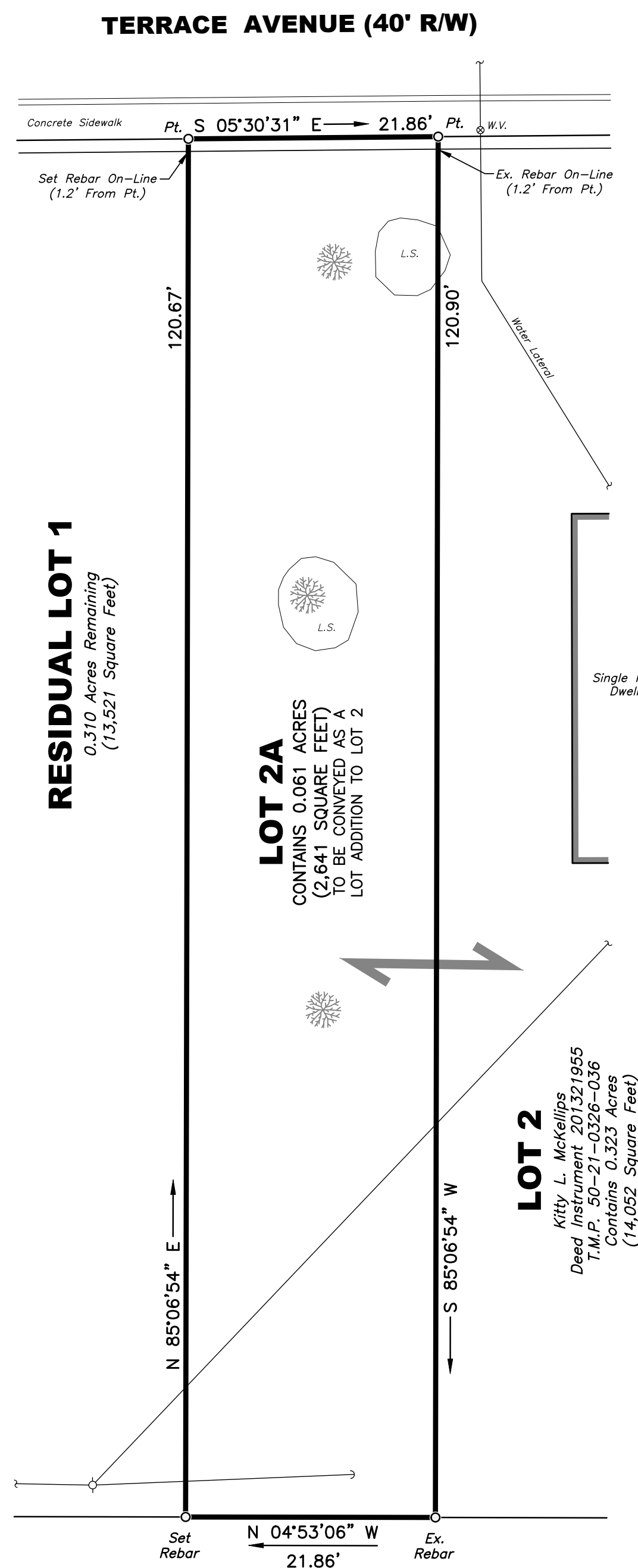
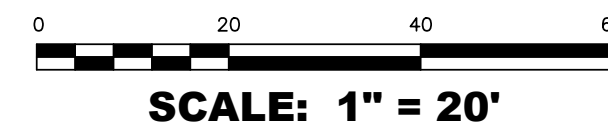
**DIFFENBAUGH WADEL INC.**  
 SURVEYING & ENGINEERING  
 25 BROAD STREET  
 NEWVILLE, PA 17241  
 www.diffenbaughwadel.com  
 PHONE: (717) 776-6420 FAX: (717) 776-9277

Date	April 4, 2022
Scale	1" = 20'
File No.	21165
Drawn By	J.B.M.
Checked By	M.L.W.
Sheet No.	<b>SD1</b>

# LOT PLAN

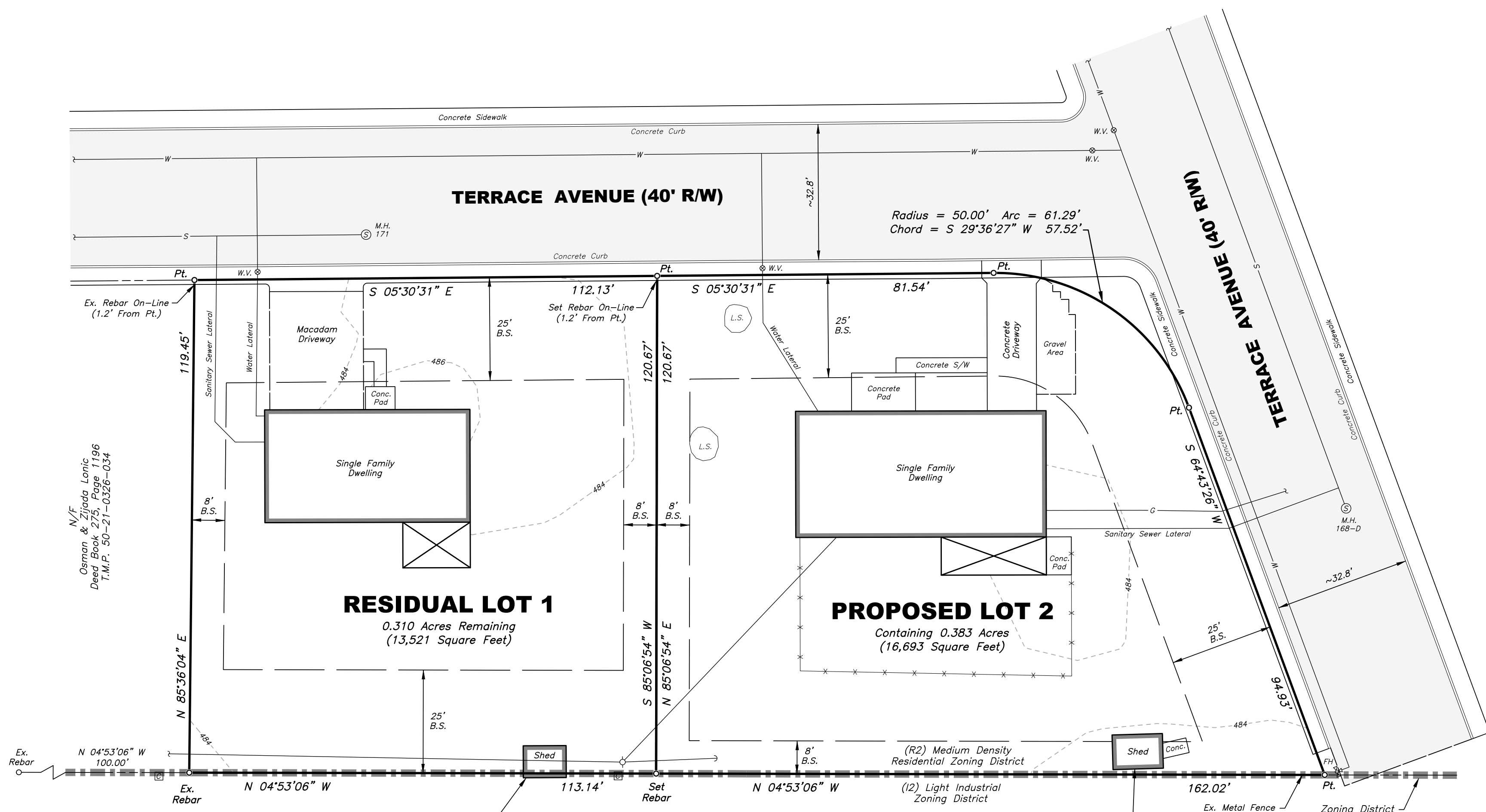


# FINAL LOT CONFIGURATION



**LEGEND**

Ex.	Existing
T.M.P.	Tax Map & Parcel
N/F	Now or Formerly
L.S.	Landscaping Area
B.S.	Building Setback
R/W	Right-Of-Way
- - -	Contour Line
○	Utility Pole
— W	Water Line
⊗ W	Water Valve
⊗ FH	Fire Hydrant
— S	Sanitary Sewer Line
⊗	Sanitary Sewer Manhole
○ CO	Clean Out
— G	Gas Line



N/F  
KTR PA CENT LLC  
Deed Instrument 201214560  
T.M.P. 50-08-0579-002

N/F  
KTR PA CENT LLC  
Deed Instrument 201214560  
T.M.P. 50-08-0579-002

### DEP PLANNING WAIVER & NON-BUILDING DECLARATION FOR RESIDUAL LOT 1

### D.E.P. PLANNING WAIVER & NON-BUILDING DECLARATION FOR PROPOSED LOT 2

As of the date of this deed/plot plan/deed notice recording, the residual tract of this subdivision is dedicated for the express purpose of residential use. No portion of the residual tract of this subdivision has been approved by the municipality or the approving agency for the installation of sewage disposal facilities. No sewage permit will be issued for the installation, construction, connection to or use of sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and approving agency have approved any required sewage facilities planning for the residual tract of the subdivision described herein in accordance with the Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this residual tract should contact the municipality which is charged with administering the Sewage Facilities Act to determine what sewage facilities planning is required and the procedure and requirements for obtaining appropriate permits or approvals.

As of the date of this deed/plot plan recording, the property/subdivision described herein is and shall be dedicated for the express purpose of residential use. No portion of Proposed Lot 2 of this property/subdivision is approved by the Borough of Carlisle or the Department of Environmental Protection (D.E.P.) for the installation of any sewage disposal facility. No permit will be issued for the installation, construction, connection to or use of any sewage collection, conveyance, treatment, or disposal system (except for repairs to existing systems) unless the municipality and D.E.P. have both approved sewage facilities planning for the property/subdivision described herein in accordance with the Pennsylvania Sewage Facilities Act (35 P.S. Sections 750.1 et seq.) and regulations promulgated thereunder. Prior to signing, executing, implementing or recording any sales contract or subdivision plan, any purchaser or subdivider of any portion of this property should contact appropriate officials of the Borough of Carlisle who are charged with administering the Sewage Facilities Act to determine the form of sewage facilities planning required and the procedure and requirements for obtaining appropriate permits or approvals.

### LOT INFORMATION

1. Lot Area:	Residual Lot 1 - 13,521 Square Feet Proposed Lot 2 - 16,693 Square Feet
2. Lot Width At Setback:	Residual Lot 1 - 112.34 Feet Proposed Lot 2 - 198.09 Feet
3. Lot Width At Street:	Residual Lot 1 - 112.13 Feet Proposed Lot 2 - 237.76 Feet
4. Floor Area:	Residual Lot 1 - >800 Square Feet Proposed Lot 2 - >800 Square Feet
5. Building Coverage:	Residual Lot 1 - 12.0 Percent Proposed Lot 2 - 13.2 Percent
6. Impervious Coverage:	Residual Lot 1 - 18.6 Percent Proposed Lot 2 - 19.8 Percent
7. Building Height:	Residual Lot 1 - <35 Feet Proposed Lot 2 - <35 Feet

### (R2) MEDIUM DENSITY RESIDENTIAL ZONING DISTRICT REQUIREMENTS

Permitted Use: Single-family detached dwelling - Public Water & Sewer

Minimum Lot Area:	5,500 Square Feet
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Minimum Floor Area:	800 Square Feet
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**PLAN REVISIONS**

No.	REVISIONS	DATE

## FINAL SUBDIVISION PLAN FOR 1528 AND 1530 TERRACE AVENUE

BOROUGH OF CARLISLE - CUMBERLAND COUNTY - COMMONWEALTH OF PENNSYLVANIA



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Date	April 4, 2022
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Drawn By	J.B.M.
Checked By	M.L.W.
Sheet No.	SD2